

MASTER DEVELOPMENT AGREEMENT
Between
EAGLE MOUNTAIN CITY
And
MUSKETEER, L.C.
And
SAGE DEVELOPMENT & MANAGEMENT, L.C.
For The
VALLEY VIEW RANCH MASTER DEVELOPMENT PLAN AREA

This is an Agreement between EAGLE MOUNTAIN CITY, a Utah municipal corporation, referred to in this Agreement as “the City” and MUSKETEER, L.C. and SAGE DEVELOPMENT & MANAGEMENT, L.C., the landowners and developers of the Valley View Ranch Master Development Plan Area with respect to the Master Development Plan approved, under the terms of this Agreement, for the “Valley View Ranch.” The owners and developers are collectively referred to in this Agreement as “the Developers” or “Valley View.”

This Agreement is made with reference to the following facts.

Valley View petitioned the City for annexation into the City and the City lawfully completed all required notices, public hearings, and other actions required to annex the Valley View area to be within the boundaries of Eagle Mountain City.

Valley View voluntarily submitted the property described on Exhibit 1, the Valley View Master Development Plan Area, to the City planning process to vest zoning entitlement and submit the Valley View area to the land development regulations of Eagle Mountain City which have been enacted by the City for the Valley View area prior to annexation. The land area subject to the terms of this Agreement is described more specifically on Exhibit 1 to this Agreement.

The City developed, drafted, and enacted a specific zone definition in the development Code of Eagle Mountain City for the Valley View area based on the unique characteristics of the area and the adjoining community. The requirements of the Valley View Zone and of the Master Development Plan, and this Agreement are specific to the Valley View Master Development Plan Area and do not govern land use development in any other area of Eagle Mountain City.

Valley View represents to the City that it has the financial ability and experience necessary to develop the Valley View area in compliance with the standards

and regulations imposed on Valley View by the City under the terms of the Valley View Zone, the Master Development Plan, and the terms of this Agreement.

Valley View has submitted and negotiated a *Master Development Plan* which is Exhibit 3 to this Agreement.

NOW, THEREFORE, in consideration of the approval of the Valley View Master Development Plan as defined and modified more specifically herein by the City, the City and Valley View agree as follows:

1. Property Subject to Agreement. The land area which is the subject of this Agreement is described more specifically on Exhibit 1 and is referred to in this Agreement as “the Property” or “the Subject Property”. The Master Development Plan submitted to the City and attached as Exhibit 3 is approved, except as amended by the terms of this Agreement. In the case of conflict between the terms of Exhibit 3 and the text of this Agreement, the text of this Agreement shall be controlling.

2. Zoning, Density and Land Use Standards. Concurrent with the execution of this Agreement, the City has enacted the Valley View Zone to the Development Code of Eagle Mountain City and has defined the Subject Property as the Valley View Zone in the Annexation Ordinance which includes the property within Eagle Mountain City. The Master Development Plan Land Use Map is the Zoning map for the Subject Property and is Exhibit 2 to this Agreement.

2.1 The Valley View Zone is a low density residential zone which permits residential use only and does not permit commercial uses. The overall density of the Valley View Zone is 1.1 units per acre which limits the Subject Property to no more than 335 residential units in the zone.

2.2 To assure compatibility with the adjoining North Ranch and Meadow Ranch communities, Valley View shall be required to plat lots of no less than 1-acre in size for each and every Valley View lot adjoining the North Ranch, Camp Williams, and Meadow Ranch areas. The area identified as “Tickville Wash” by the City Engineer on Exhibit 2, shall be dedicated to the City as open space and the open space shall not be included within the required 1-acre lots platted on the property adjacent to North Ranch. A 25 foot unfenced access easement in favor of the City will be included along the rear lot line of each lot on the plat adjoining the Tickville Wash to assure that the City will have suitable access to the Tickville Wash for stormwater control purposes.

2.3 No lot shall be platted on the Subject Property less than one-half acre in size; provided however, that if Valley View can demonstrate to the satisfaction of the City that topographical features or road alignment technical issues prevent a particular lot from achieving full one-half acre lot size, the lot or lots identified to have topographical features or present other technical compliance issues may be reduced from one-half acre in size by no more than 2,100 square feet to accommodate the topographical or alignment


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requirements. Not more than five (5%) percent of the total number of lots in the Subject Property shall be approved by the City for less than one-half acre size based on topographic features or alignment technical challenges.

2.4 All lots ½ acre in size platted in Valley View shall have a minimum 100 foot frontage on a public street and those that are one (1) acre in size shall have a minimum 150 foot frontage.

2.5 Valley View shall be required to provide the land and funds to build and improve a park (“the Park”) of not less than 3.35 acres in size in the location depicted in the Master Development Plan. The Park depicted in the Master Development Plan shall be completed by Valley View prior to the issuance of the 150th building permit. Valley View shall be required to establish a park development escrow account approved by the City prior to the recordation of the first subdivision plat in Valley View and shall thereafter deposit to the park escrow account with each successive subdivision recordation an amount equal to the pro rata cost per lot of improving the Park. Valley View shall not financially, or in any other way, encumber the property included in the Park, provide a foreclosure title report to the City for all the property included in the Park prior to the recordation of the first subdivision plat and shall deed all of the Park land to the City not later than the recordation of the second subdivision plat.

3. Utility Services. Sewer service will be provided to the Project using onsite disposal septic systems as approved by Utah County; provided however, that wherever septic systems are not approved by Utah County, the Developer will install a sewer collection system connecting to the existing collection system in Meadow Ranch, at the Developer’s sole cost and expense.

3.1 The Developer shall provide all funds to construct a water storage reservoir on, and to serve the Property in the location selected by the City. Valley View shall fund the costs of engineering and constructing the water reservoir by depositing the required funds with the City to complete the engineering for the reservoir in the capacity size required by the Master Development Plan (Exhibit 3). Within sixty (60) days after completion of the engineering and construction cost estimating for the water reservoir project and upon demand by the City, Valley View shall deposit all of the required funds to complete construction of the water storage reservoir. No subdivision plats shall be recorded by the City and no building permits shall be issued by the City on the Subject Property if Valley View fails to meet the requirements for payment to the City for engineering and construction of the water reservoir required by this Section.

3.2 Developer agrees that water pressures will be checked and verified in each subdivision plat of the Valley View Project at the completion of the water system in each subdivision plat. If water pressures test less than 55 PSI on any fire hydrants in any plat, developer agrees to construct the water reservoir at that stage of development without proceeding with additional building permits.



3.3 Developer agrees that water pressures will be checked periodically after new home construction starts in each plat constructed in Valley View. If water pressures are measured at a pressure below 55 PSI, the developer agrees that all future new home permits will be denied until a new water reservoir is constructed or funds are provided to the City for the construction of the water reservoir.

4. Housing Standards. Residential housing constructed within Valley View shall conform to the following standards:

4.1 All homes have a minimum finished interior square footage of 1,400 square feet above land elevation at the building site. Homes built with two stories above land elevation shall have a minimum of 1,000 square feet interior finished on the main level and 1,600 total finished square footage overall. No more than fifty (50%) percent of the homes in Valley View shall be built using vinyl siding as an exterior material.

4.2 Valley View is anticipated to be a "custom home" community similar to the North Ranch and Meadow Ranch communities on either side of Valley View. The City will discourage the use of the same home plan used more than once in Valley View; provided however, no home plan will be approved for construction if a home using the same front elevation has been approved for use on a home within five (5) lots adjoining the proposed home on either side or across the street from the proposed home and no more than 15% of same front elevation the Project. The purpose of this provision is to assure that sufficient visual distance is required between homes using the same front elevation to create the appearance that repetitive home plans are not used within Valley View.

5. Covenants, Conditions, and Restrictions. Each subdivision plat in Valley View will be required to record *Covenants, Conditions and Restrictions* binding the property owners and governing the use of each residential lot consistent with the following requirements:

5.1 All one-acre lots shall have animal keeping rights consistent with the animal use and keeping rights provided for in the adjoining Meadow Ranch and North Ranch Subdivisions.

5.2 Property owners of one-half acre lots shall have animal keeping rights commensurate with the health and safety requirements for such animals defined more specifically in the Eagle Mountain City Animal Control Ordinance.

6. Bonding. All public improvements constructed within the Subject Property shall be bonded by Valley View or by the relevant Subdivision Developer to guarantee timely completion of all public improvements and payment of all subcontractors entitled to payment for work on the public improvements.

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7. Phasing. Subdivision platting with Valley View shall commence with the platting of the area adjacent to State Road 73 and proceed progressively north to complete the lower section and east across the Subject Property. The lower section of the project is the area located south of an east-west line parallel to Autumn Drive in Meadow Ranch. The upper section is the area to the North of that same line.

8. City Right to Stop Development. If Valley View or a Subdivision Developer is in material default in the requirements of this Agreement, the City may, at its option, stop all or any construction on the Subject Property until a breach of this Agreement is cured.

9. Binding on Successors. This Agreement shall be binding upon and inure to the benefit of the successors, heirs and assigns of the parties hereto, and to any entities resulting from the reorganization, consolidation, or merger of any party hereto.

10. Integration. This Agreement constitutes the entire understanding and agreement between the parties, and supersede any previous agreement, representation, or understanding between the parties relating to the subject matter hereof.

11. Non-Severable. The provisions of this Agreement are not severable, and should any provision hereof be deemed void, unenforceable or invalid, such provision shall effect the remainder of this Agreement, and shall provide grounds for dissolution of the Agreement at the option of the parties in the exclusive discretion of each of them.

12. Waiver. Any waiver by any party hereto of any breach of any kind or character what so ever by the other party, whether such waiver be direct or implied, shall not be construed as a continuing waiver of or consent to any subsequent breach of this Agreement on the part of the other party.

13. Amendment. This Agreement may not be modified except by an instrument in writing signed by the parties hereto.

14. Construction of Agreement. This Agreement shall be interpreted, construed and enforced according to the laws of the State of Utah.




15. Costs on Default. In the event of default on the part of any party to this Agreement, that party shall be liable for all costs and expenses incurred by the other parties in enforcing the provisions of this Agreement, whether or not legal action is instituted.

Dated this 19th day of OCTOBER, 2004.

DEVELOPERS:

MUSKETEER, L.C.

By: 
(Signature)

GARY W MCDUGAL

(Printed Name)

As Its: MANAGER

SAGE DEVELOPMENT &
MANAGEMENT, L.C.

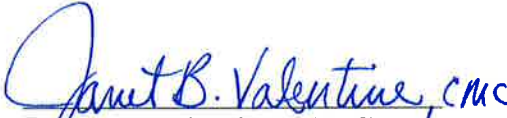
By: 
(Signature)

Brian Haskell

(Printed Name)

As Its: Manager

ATTEST:



Janet B. Valentine, CMC
City Recorder

EAGLE MOUNTAIN CITY



Kelvin E. Bailey, Mayor

EXHIBIT 1

EXHIBIT 1

Property Description of Annexed Parcel:

The land referred to is located in Utah County, State of Utah, and is described as follows:

BEGINNING AT THE N.W. COR. SEC. 18, T5S, R1W, SALT LAKE
BASE & MERIDIAN ;

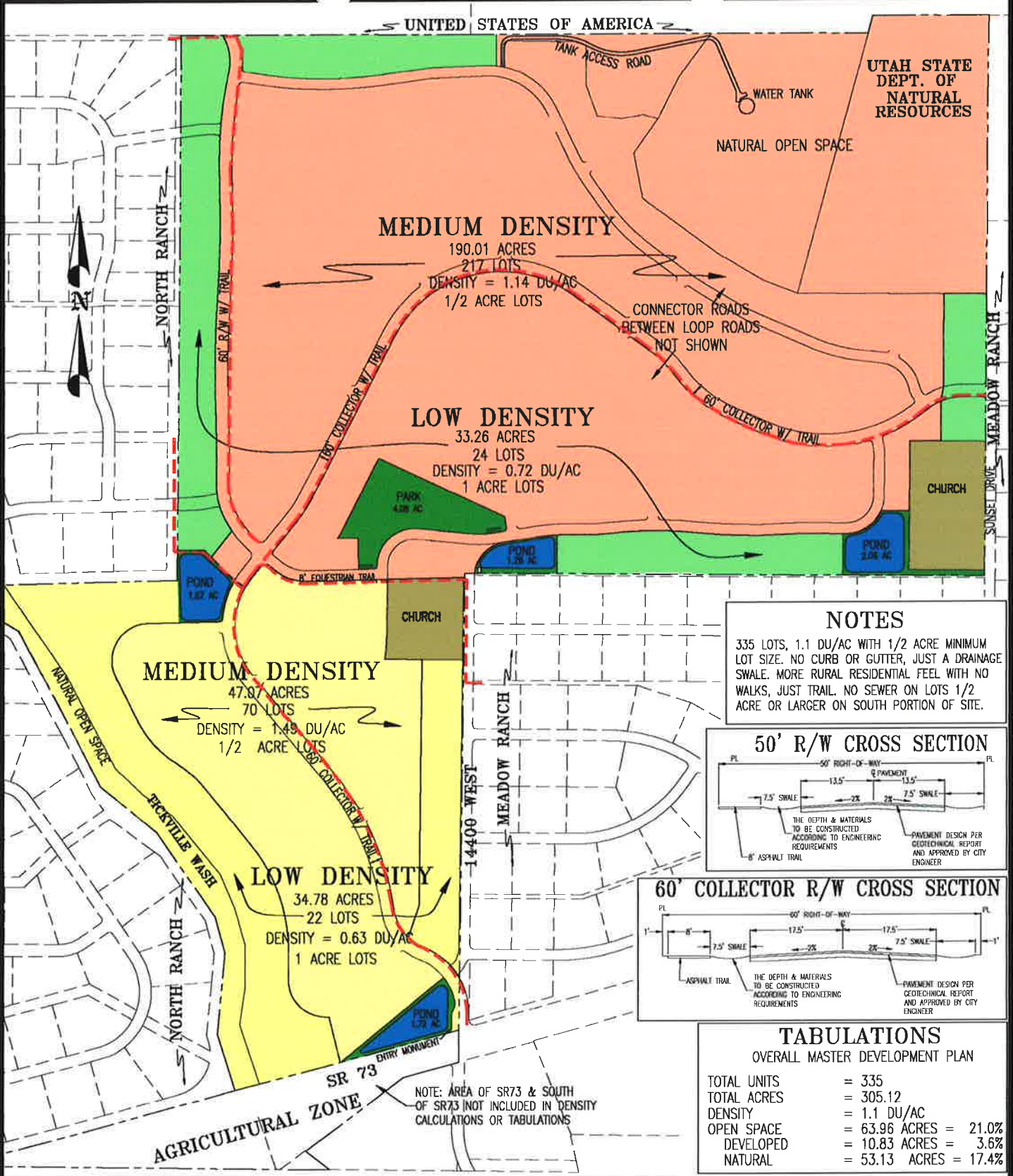
RUNNING THENCE S 89°58'29" E ALONG THE SECTION LINE
1866.44 FEET; THENCE N 13°38'42" E 85.00 FEET THENCE
S 89°42'32" E 549.56 FEET TO THE EXISTING EAGLE MOUNTAIN
CITY LIMITS; THENCE ALONG SAID CITY LIMITS THE FOLLOWING
TWENTY TWO COURSES:

S 00°26'33" W 2634.21 FEET, N 89°23'01" W 1234.56 FEET,
S 15°05'35" W 8.39 FEET, N 89°38'25" W 1210.19 FEET;
S 00°41'39" W 2303.73 FEET; S 74°18'31" W 49.11 FEET;
S 74°43'48" W 220.83 FEET; S 53°17'00" W 576.86 FEET;
S 52°18'48" E 143.60 FEET; N 89°19'12" W 1734.94 FEET ;
N 74°43'48" E 1343.50 FEET; N 17°30'00" W 275.06 FEET;
N 05°06'30" E 387.00 FEET; N 15°15'00" W 175.00 FEET;
N 34°42'00" W 483.00 FEET; N 51°20'00" W 344.00 FEET;
N 27°11'00" W 829.99 FEET; N 59°35'00" W 142.00 FEET;
N 49°05'44" W 216.30 FEET; N 88°43'47" E 1030.00 FEET;
N 00°26'38" E 1288.10 FEET; N 00°26'38" E 1288.11 FEET;
THENCE S 89°50'16" E ALONG THE SECTION LINE 1360.14 FEET
TO THE POINT OF BEGINNING.

CONTAINING 317.26 ACRES .

EXHIBIT 2

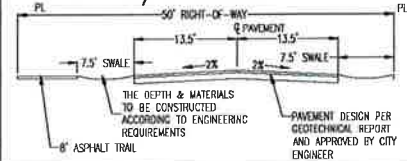
UTAH STATE DEPT. OF NATURAL RESOURCES



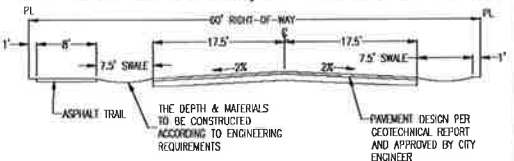
NOTES

335 LOTS, 1.1 DU/AC WITH 1/2 ACRE MINIMUM LOT SIZE. NO CURB OR GUTTER, JUST A DRAINAGE SWALE. MORE RURAL RESIDENTIAL FEEL WITH NO WALKS, JUST TRAIL. NO SEWER ON LOTS 1/2 ACRE OR LARGER ON SOUTH PORTION OF SITE.

50' R/W CROSS SECTION



60' COLLECTOR R/W CROSS SECTION



TABULATIONS

OVERALL MASTER DEVELOPMENT PLAN

TOTAL UNITS	=	335
TOTAL ACRES	=	305.12
DENSITY	=	1.1 DU/AC
OPEN SPACE	=	63.96 ACRES = 21.0%
DEVELOPED	=	10.83 ACRES = 3.6%
NATURAL	=	53.13 ACRES = 17.4%

NOTE: AREA OF SR73 & SOUTH OF SR73 NOT INCLUDED IN DENSITY CALCULATIONS OR TABULATIONS

VALLEY VIEW RANCH - MASTER DEVELOPMENT PLAN LAND USE MAP

KHM, LLC
3688 E. CAMPUS DRIVE
EAGLE MT. UT 84043 789-4700

SCALE:
1" = 600'

DESIGN BY: SES
DRAWN BY: AAM

DATE: 21 SEP 2004
REV: 06 OCT 2004

DRAWING NAME:
EXHIBIT_2R

SHEET NO.
2

KHM
PL

EXHIBIT 3

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EXHIBIT 3

**VALLEY VIEW RANCH
ANNEXATION INFORMATION AND
MASTER DEVELOPMENT AMENDMENT

SUPPORTING MATERIALS

CITY OF EAGLE MOUNTAIN**

Revised SEPT 13, 2004

**Prepared by
Sowby & Berg Consultants
for
KHM, LLC**

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VALLEY VIEW RANCH ANNEXATION INFORMATION AND MASTER DEVELOPMENT AMENDMENT

SUPPORTING MATERIALS

1. MASTER DEVELOPMENT PLAN APPLICATION. The Master Development Plan application is shown as **Exhibit 1**.
2. GENERAL DESCRIPTION OF PROPOSED DEVELOPMENT. A general description of the proposed development together with a map indicating the general development pattern, land uses, densities, intensities, open spaces, parks and recreation, trails, and any other important features of the project is attached as the colored map labeled **Exhibit 2**.
3. VICINITY MAP. A vicinity map of the area is shown as **Exhibit 3**.
4. ANNEXATION PLAT. A copy of the annexation application is shown as **Exhibit 4**.
5. ROADWAY SYSTEM. See **Exhibit 5**.
6. CULINARY WATER SYSTEM. See **Exhibit 6**.
7. WASTEWATER COLLECTION SYSTEM. See **Exhibit 7**.
8. STORM WATER SYSTEM: See **Exhibit 8**.
9. PARKS & RECREATION FACILITIES: See **Exhibit 9**.
10. EXISTING PHYSICAL CHARACTERISTICS. A map showing existing physical characteristics of the site including waterways, geological information, fault lines, general soils data, and contour data is attached as **Exhibit 10**.
11. ENVIRONMENTAL ISSUES. An identification of how environmental issues, if any, will be protected or mitigated, i.e. wetlands, historical sites, endangered plants is attached as **Exhibit 11**.
12. PRELIMINARY FISCAL ANALYSIS. A preliminary fiscal analysis indicating the benefits and impacts to the fiscal resources of the City including recognition of long-term operation and maintenance costs anticipated to be incurred by the City for the provision of required community services is attached as **Exhibit 12**. This analysis includes an estimated cost to construct the main skeleton system of public infrastructure required by the proposed development as well as a proposed funding mechanism to pay for the costs of development.
13. OTHER INFRASTRUCTURE: This section contains information in **Exhibit 13** on
 - a. Electrical power, Natural Gas, and Communications
 - d. Solid Waste
 - e. Fire Protection
14. CRITERIA FOR REVIEW OF DEVELOPMENT MASTER PLANS. Statements of how the proposed development is compatible with surrounding land uses and other areas of the City and how internal compatibility will be maintained are explained in the answers to the criteria for review of Development Master Plans from Section 13 of the code.

APPENDIX - TRAFFIC ANALYSIS

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CRITERIA FOR REVIEW OF DEVELOPMENT MASTER PLANS - Page 1

Chapter 13 of the Eagle Mountain Development Code establishes criteria for review on proposed development master plans. Those criteria and answers are listed below.

13.3 Site Analysis

- 13.3.1 Is the slope of each area designated for a particular use or density suitable for that use or density? *Yes. Refer to Exhibit 10 herein. All lots are at least 1/2 acre in size and avoid areas where slopes are >25%.*
- 13.3.2 Can the proposed uses reasonably be established without hazard of slope failure? *Yes, especially since all slopes in areas to be developed are <20%. Refer to Exhibit 10 herein. There are no identified areas of rockfall or slope instability.*
- 13.3.3 Can the proposed uses and densities reasonably be established without accelerating runoff and erosion in a way that would have adverse downstream impacts. *Yes. See the storm drain plan in Exhibit 8 that details a series of 4 or 5 (or as needed) small storm drain detention ponds. These ponds will be constructed as development proceeds. Runoff will be detained in the ponds and piped to Tickville Wash in a prudent manner. City standards and requirements for drainage will be adhered to.*
- 13.3.4 Will the proposed uses and densities be reasonably compatible with the protection of natural channels? *Yes, since there are absolutely none except Tickville Wash. Refer to Exhibit 10 herein. There are a few swales on the site, but no evidence of runoff or natural channels. Note that the entire development has been designed around these swales with roadways following most of them so stormwater can be contained in the roadways.*
- 13.3.5 Will the proposed uses be reasonably safe from flooding, including alluvial fan flooding? *Yes, since there are no flood plains, water bodies, rivers, or alluvial fans. Tickville Wash is the only water course and it is dry most of the year. Refer to Exhibit 10 herein.*
- 13.3.6 Is the soil in each area designated for a particular use or density generally suitable for that use or density? *Yes. Refer to Exhibit 10 herein. There are no known poor or unfavorable soils. In fact, note that there is some exposed bedrock on the northerly portion of the project that will have to be dealt with.*

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CRITERIA FOR REVIEW OF DEVELOPMENT MASTER PLANS - Page 2

13.4 Infrastructure

- 13.4.1 Can the proposed uses and densities be adequately served by Eagle Mountain's planned municipal utilities? *Yes. Refer to maps for Exhibit 5 thru 9 herein. All the utilities have been evaluated by the City Engineer as part of the capital facilities plan. Specific needed water system improvements have been included therein. No needed capital facility improvements have been identified for sewer, storm drain, roadways, power, gas, or phone. All these will be constructed and installed by the developer as subdivision approval proceeds.*
- 13.4.2 Can the proposed uses and densities be adequately served by Eagle Mountain's planned network of major streets? *Yes, easily with local collectors and arterial roads. Refer to Exhibit 5 herein. One local 60' collector roadway is included through the entire project that connects directly to the SR73 arterial. No major traffic would have to exit or enter through other adjacent developments, although connections are provided for smooth access if drivers desire.*
- 13.4.3 Is there legally enforceable documentation to the satisfaction of counsel to City that substantiates the ability of the developer to convey water rights to the City? *Yes. Refer to prior agreement and commitment of water rights with developer. The exact amount will be calculated at a later date after this plan is approved, densities are known, and irrigated park acreage is approved.*

13.5 Compatibility

- 13.5.1 Will the proposed uses and densities be reasonably compatible with existing or planned uses on adjoining lands? *Yes. Refer to Exhibits 2, 3, & 9. Surrounding lot sizes are 1 acre. This plan is slightly more dense at 1.1 DU/acre. However, all lots abutting existing 1 acre density developments in North Ranch and Meadow Ranch will be a minimum size of 1 acre.*
- 13.5.2 Will the proposed uses and densities be reasonably compatible with each other? *Yes. Refer to Exhibit 2 herein and statement above.*
- 13.5.3 Does the pattern of proposed uses and densities help buffer potentially incompatible uses from one another? *Yes, since there are no incompatible proposed uses. Notice how densities get progressively higher towards the middle of the development and lots are larger near the surrounding parcels. Note that a rural feel is proposed to be compatible with adjacent parcels. Trails, are proposed on one side of each roadway instead of concrete sidewalks on both sides. An equestrian trail that connects Meadow and North Ranch is also proposed.*



CRITERIA FOR REVIEW OF DEVELOPMENT MASTER PLANS - Page 3

13.6 Design

- 13.6.1 Do the proposed densities include the planned community open space? Does the proposed pattern of uses and densities attempt to make effective use of the planned community open space? *Yes, since there is sufficient. Refer to Exhibit 2 and 9 herein that details park and pond open space to be developed and the 46 acres (including land that is owned by the Department of Natural Resources) of natural open space. All residents of this area and adjoining subdivisions can have access to the park.*
- 13.6.2 Are the proposed uses and densities consistent with provision of ample neighborhood open space? *Yes, no problem. The developer did exactly what the City Council and residents wanted, that is large lot. Refer to Exhibit 2 and 9 herein. This coupled with the low density makes this development desirable for the rural residential feeling and uses desired.*
- 13.7. Environmental impacts are described in Exhibit 11. *Note that there are no known wetlands, water courses, endangered species, landslides, debris flows, FEMA flood plains, historical sites, endangered plants, etc. No special problems have been identified with waste generation, noise pollution, wildlife, As per the code, the administrator has not identified any area requiring special attention.*
- 13.8 Financing Infrastructure Development. Master development plans must include an element describing in reasonable planning level detail the cost of all infrastructure required to serve the area of the proposed plan. Engineering estimates of construction costs from recent cost experience for similar facilities in the area may be used. The financial element may suggest the use of Special Improvement Districts with privately funded reserve funds or the use of other financial methods requiring the cooperation of the City or the use of public finance authorization legally and practically available to the City. The plan must show that the required infrastructure can be constructed by the developer or jointly by the City and the developer using the funding provided..... . *Exhibit 12 contains a preliminary fiscal analysis indicating the benefits and impacts to the fiscal resources of the City including recognition of long-term operation and maintenance costs anticipated to be incurred by the City for the provision of required community services. This analysis includes an estimated cost to construct the main skeleton system of public infrastructure required by the proposed development as well as a proposed funding mechanism to pay for the costs of development. This, of course, is not a final plan since the site is not even annexed yet and no commitments can be made by lending agencies and plans of the developer are subject to immediate change without notice depending on development requirements extracted by the City.*

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FOR OFFICE USE ONLY

Fees received by: _____ Date of submittal: _____
Amount Paid: _____ Receipt number: _____

MASTER DEVELOPMENT PLAN APPLICATION

Applicant & Project Information

Project Name: Valley View Ranch

Property Owners: Ranches, L.C. and Musketeer, L.C.

Address: 3688 East Campus Drive, Eagle Mountain, Utah 84043

Phone: 801-789-4700 Fax: 801-789-4702 Cell: 801-

Authorized agent: Brian Haskell or Scott Kirkland

Address: 3688 East Campus Drive, suite 140, Eagle Mountain, UT 84043

Phone: 801-789-4700 Fax: 801-789-4702 Cell: 801-

E-mail address: brian@the sagegroup Utah.com

Engineer: Stephen E. Sowby, P.E. Sowby & Berg Consultants

Address: 45 N. 490 W., American Fork, Utah 84003

Phone: 801-492-1277 Fax: 801-492-7979 Cell: 801-372-0364

E-mail address: sowbyberg@qwest.net

Landscape Architect: Dale R. Berg, R.L.A., Sowby & Berg Consultants

Address: 270 E. 300 N., Heber City, Utah 84032

Phone: 435-654-0250 Fax: 435-654-3067 Cell: 435-671-0444

E-mail address:

General location of the property: North of SR73 between Meadow Ranch and North Ranch

Size of the subject property: 305.12 acres

Surrounding land uses: residential on S, E, & W. Military Reservation on N

Proposed zoning: Whatever the City wants to call it based on the approved MDP.

Proposed number of dwelling units and units per acre: 335 = 1.1 DU/Ac

General description of the proposed master development plan: All single family residential with lots ranging in size from 1 acre down to 1/2 acre

**VALLEY VIEW RANCH - MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS - CITY OF EAGLE MOUNTAIN**

**EXHIBIT 2
GENERAL DESCRIPTION OF PROPOSED
DEVELOPMENT**

This development is proposed to be a single family residential development on large lots ranging in size from 1/2 to 2/3 up to 1.0 acre. A total of 335 lots are proposed on 305.12 acres for a density of 1.1 DU/acre. See Exhibit 2 that contains a colored bubble map of the proposed site.

The property is located adjacent to and just north of SR73 between North Ranch and Meadow Ranch (See Exhibit 3 Vicinity Map). To the north lies a Military Reservation. Currently, land use consists of vacant land used for open space only and occasional use by military vehicles over a non-defined prescriptive easement. There are no agriculture operations, roads, utilities, or anything but sagebrush vegetation. Most of the land is relatively flat with maximum slopes of about 8% except for a portion in the NE corner which has slopes of >30% on a hillside. No known geological hazards, faults, wetlands, drainage channels, environmental issues, endangered plants, steep slopes, high water table, existing utilities, waterways, historical sites, or limiting soil conditions exist on site except for Tickville Wash near the southwestern boundary.

The accompanying maps show details of the site proposed site plan and all information required about utility and roadway extensions to serve the site. Adjacent property master plans and subdivisions were also reviewed to ensure compatibility.

No commercial activity is proposed, but some sites have been reserved for churches. Parks and open space are an essential ingredient of this development. There is a total of 10.57 acres of open space (including lands that will serve as a storm drain detention ponds). Provisions have been made for trails traversing entirely through the development connecting Meadow Ranch and North Ranch. The linear park feature of the project has been removed as a result of the public hearings in favor of all lots being 1/2 acre or larger.

Utilities needed to serve the site are all to be constructed by the developer with no assistance from the city envisioned at this point. One exception is for the water tank. Both a reimbursement agreement and assistance with oversizing the tank to serve other areas will be requested from the City. No central sanitary sewer collection system is proposed for the southerly portion of this site which contains lots from 1/2 to 1 acre in size. Percolation tests will, of course, be completed with the final plats and or during building permit time to verify percolation rates.

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The general scheme for development is a generally semi circular pattern with larger lots on the perimeter and progressively smaller to the interior. For the purpose of this development, 1 acre lots are defined as a minimum of a full acre or 43,560 SF, and 1/2 acre lots are defined as a minimum of 21,780 SF half acre lots may be reduced according to the provisions in the Master Development Agreement.

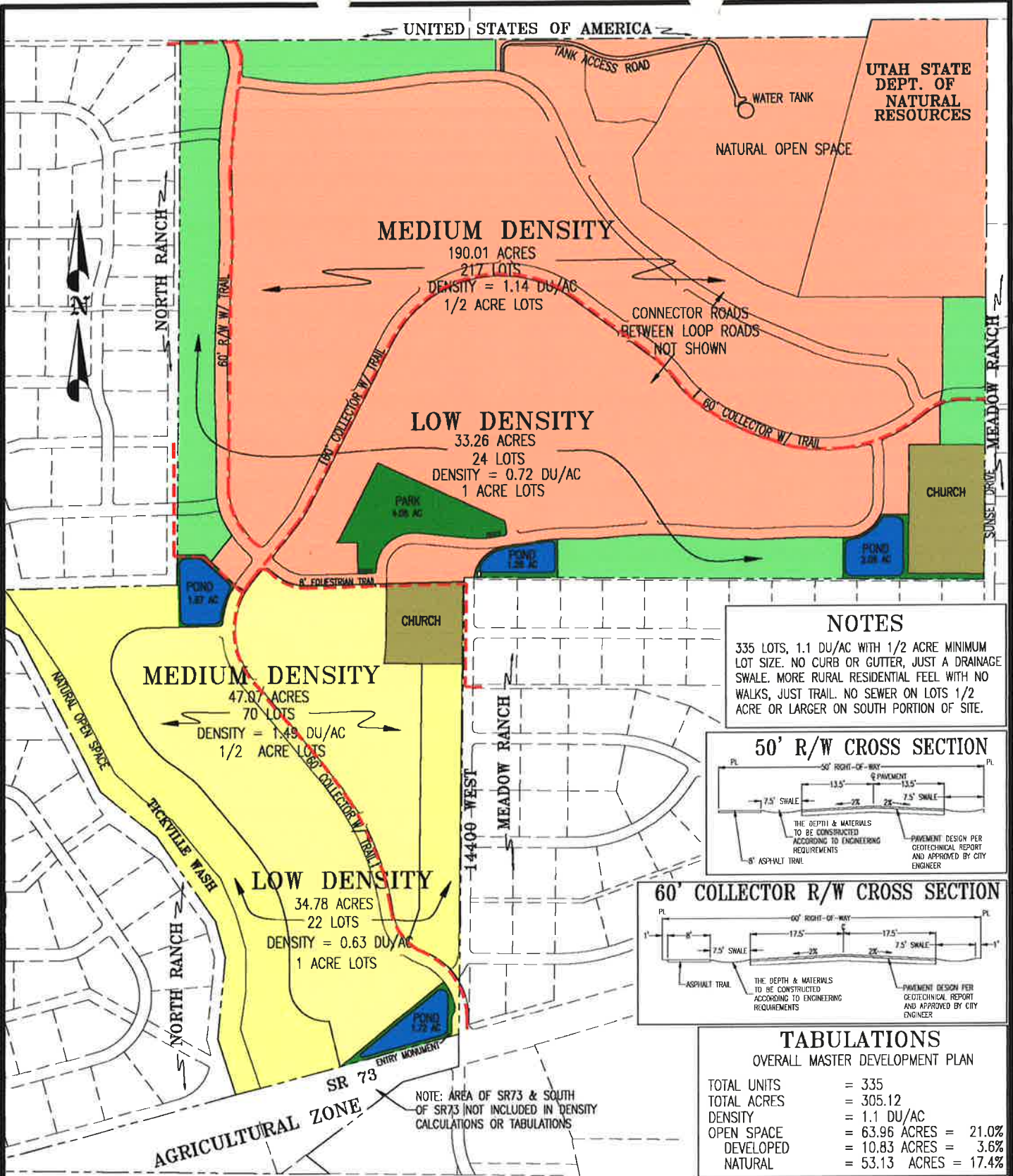
PLANNING COMMISSION PUBLIC HEARING

During the public hearing process, several comments from citizens, city staff, and public officials were incorporated and the plan altered to reflect their views. The developer is very interested in accommodating the adjoining residents. Accordingly, some of those items changed were,

1. Entirely removed all 1/3 acre lots. The smallest lot is now 1/2 acre. It should be noted that the developer thinks this decreases the quality and value of the development but he is still willing to comply if the City Council determines it prudent.
2. Reduced the amount of open space in the parks.
3. Revised the 60' roadway alignment to better meet the needs of Camp Williams.
4. Added better trail connections to North Ranch and Meadow Ranch.
5. Changed the name of the development from Meadow View Ranch to Valley View Ranch.
6. Completed a detailed traffic analysis of the entire project and all intersections of the new collector road and SR73.
7. Agreed to provide secondary access to development sites in conformance with city code as development proceeds with each individual plat.
8. Agreed to an 8' trail section on all roadways.
9. Revised the water right requirement for irrigated areas.
10. Agreed to certain standards to be in the CC&R's.
11. Removed a hiking trail leading to the water tank site.
12. Agreed that no building permits would be issued if the city engineer determines water pressure is inadequate, and
13. Agreed to ensure lots on perimeter near North or Meadow Ranch are a 1 acre minimum.

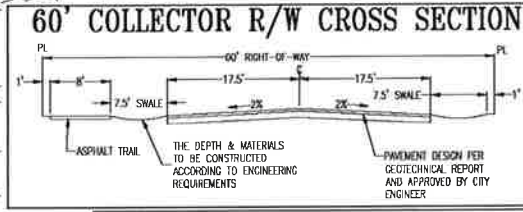
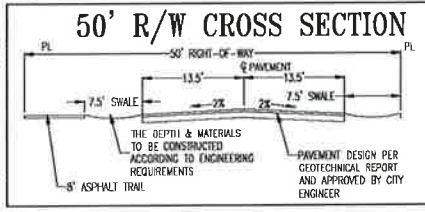


UTAH STATE DEPT. OF NATURAL RESOURCES



NOTES

335 LOTS, 1.1 DU/AC WITH 1/2 ACRE MINIMUM LOT SIZE. NO CURB OR GUTTER, JUST A DRAINAGE SWALE. MORE RURAL RESIDENTIAL FEEL WITH NO WALKS, JUST TRAIL. NO SEWER ON LOTS 1/2 ACRE OR LARGER ON SOUTH PORTION OF SITE.



TABULATIONS

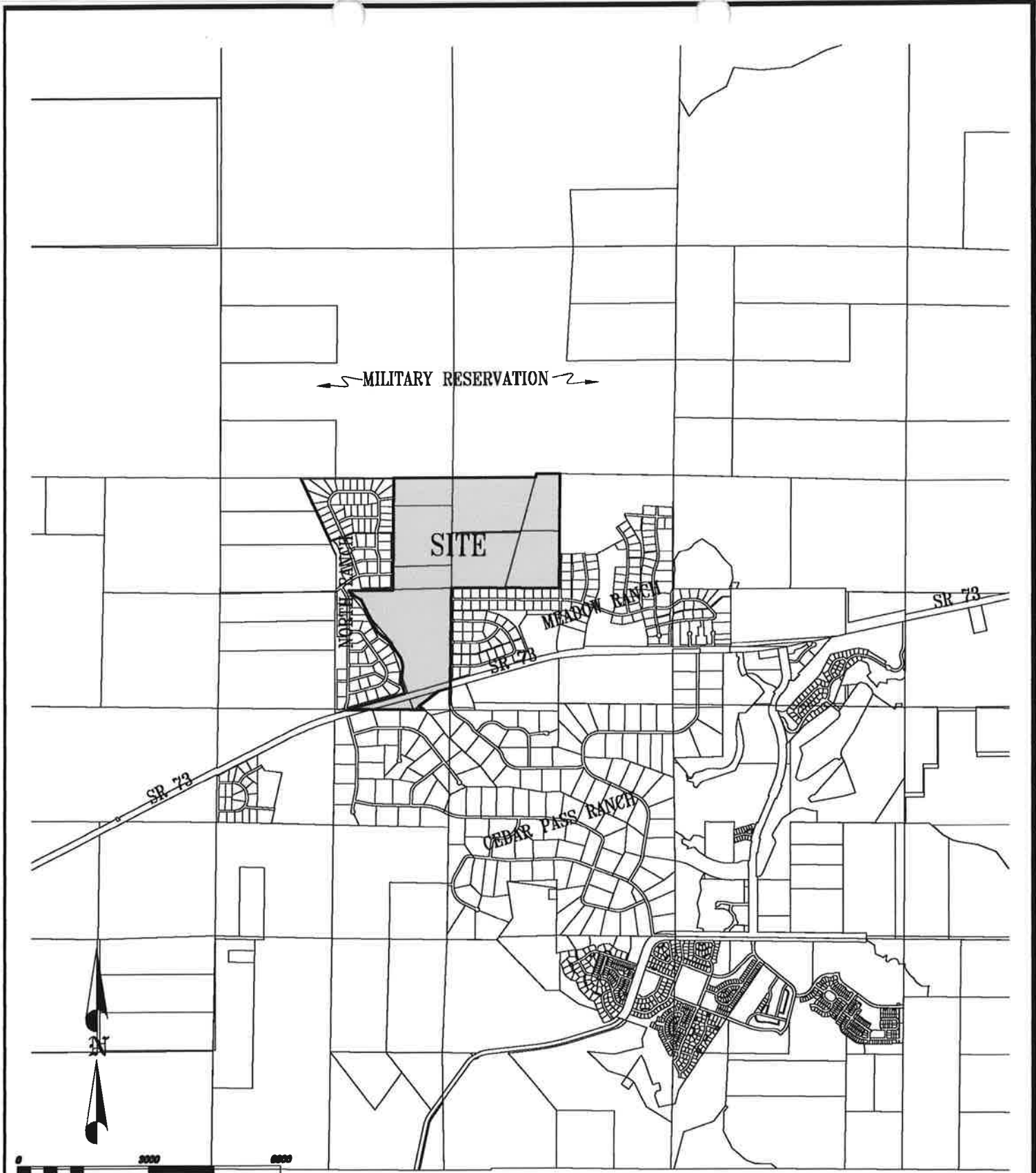
OVERALL MASTER DEVELOPMENT PLAN

TOTAL UNITS	=	335
TOTAL ACRES	=	305.12
DENSITY	=	1.1 DU/AC
OPEN SPACE	=	63.96 ACRES = 21.0%
DEVELOPED	=	10.83 ACRES = 3.6%
NATURAL	=	53.13 ACRES = 17.4%

VALLEY VIEW RANCH - MASTER DEVELOPMENT PLAN LAND USE MAP

KHM, LLC 3688 E. CAMPUS DRIVE EAGLE MT. UT 84043 789-4700	SCALE: 1"=600'	DESIGN BY: SES DRAWN BY: AAM	DATE: 21 SEP 2004 REV: 06 OCT 2004	DRAWING NAME: EXHIBIT_2R	SHEET NO. 2
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Handwritten initials/signature



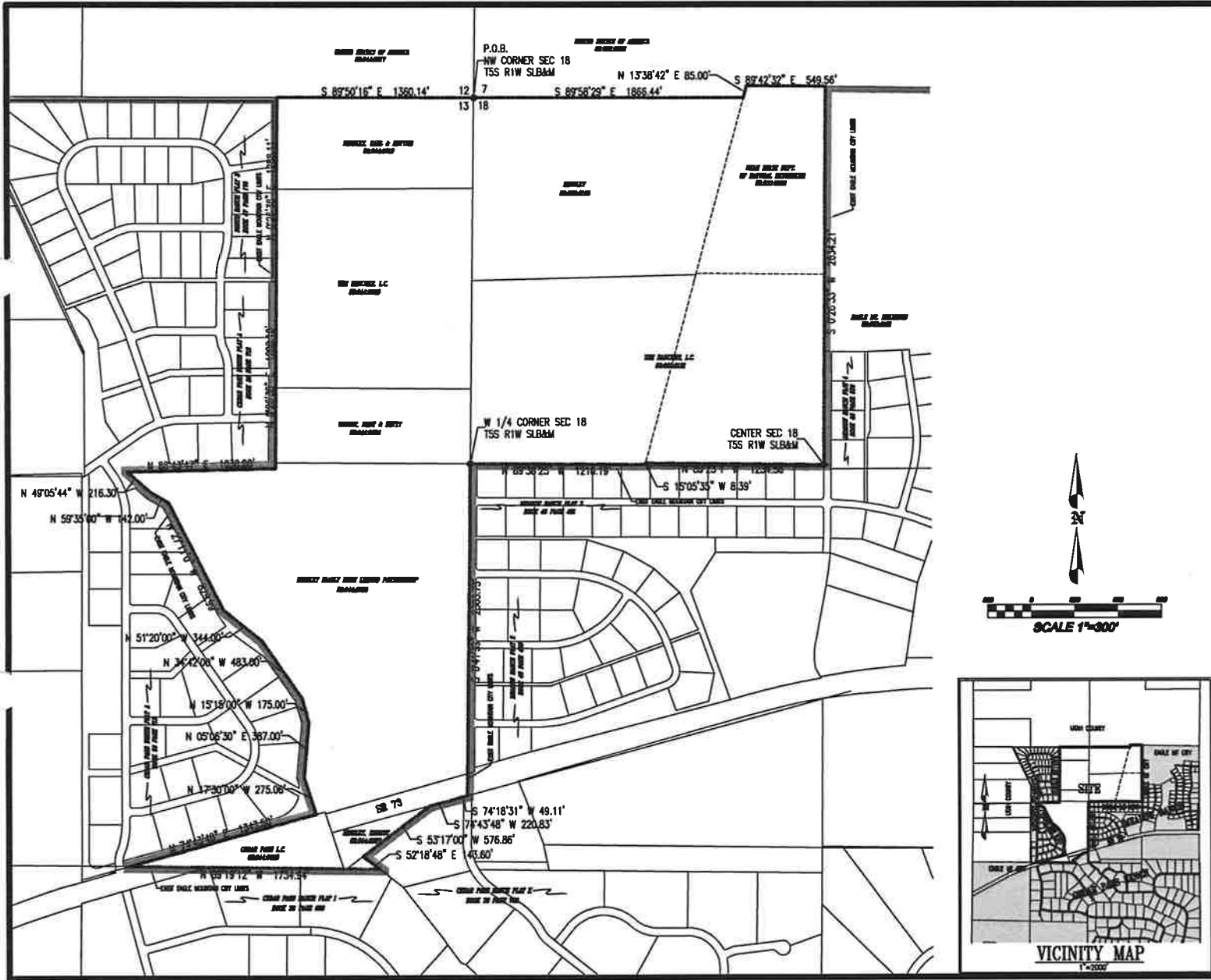
SCALE 1"=3000'

VALLEY VIEW RANCH - VICINITY MAP

<p>KHM, LLC 3688 E. CAMPUS DRIVE EAGLE MT. UT 84043 789-4700</p>	<p>SCALE: 1"=3000'</p>	<p>DESIGN BY: SES DRAWN BY: AAM</p>	<p>DATE: 26 JUL 2004 REV:</p>	<p>DRAWING NAME: EXHIBIT_3</p>	<p>SHEET NO. 3</p>
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Handwritten initials/signature

MAN



SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR AND THAT I HOLD CERTIFICATE NO. _____ AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT THIS IS A TRUE AND ACCURATE MAP OF THE TRACT OF LAND TO BE ANNEXED TO EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH.

BOUNDARY DESCRIPTION

BEGINNING AT THE N.W. COR. SEC. 18, TSS, R1W, SALT LAKE BASE & MERIDIAN;

RUNNING THENCE S 89°58'29" E ALONG THE SECTION LINE 1866.44 FEET; THENCE N 13°38'42" E 85.00 FEET THENCE S 89°42'32" E 549.56' FEET TO THE EXISTING EAGLE MOUNTAIN CITY LIMITS; THENCE ALONG SAID CITY LIMITS THE FOLLOWING TWENTY TWO COURSES:

S 00°26'33" W 2634.21 FEET, N 89°23'01" W 1234.56 FEET, S 15°05'35" W 8.39 FEET, N 89°38'25" W 1210.19 FEET, S 00°41'39" W 2303.73 FEET; S 7°41'8"31" W 49.11 FEET; S 7°43'48" W 220.83 FEET; S 53°17'00" W 576.86 FEET; S 52°18'48" E 143.60 FEET; N 89°19'12" W 1734.94 FEET; N 74°43'48" E 1343.50 FEET; N 17°30'00" W 275.06 FEET; N 05°06'30" E 367.00 FEET; N 15°15'00" W 175.00 FEET; N 34°42'00" W 483.00 FEET; N 51°20'00" W 344.00 FEET; N 27°11'00" W 829.99 FEET; N 59°35'00" W 142.00 FEET; N 49°05'44" W 216.30 FEET; N 88°43'47" E 1030.00 FEET; N 00°26'38" E 1288.10 FEET; N 00°26'38" E 1288.11 FEET; THENCE S 89°50'16" E ALONG THE SECTION LINE 1360.14 FEET TO THE POINT OF BEGINNING.

CONTAINING 317.26 ACRES.

SURVEYOR

DATE

SURVEYOR'S SEAL

ACCEPTANCE BY LEGISLATIVE BODY

THIS IS TO CERTIFY THAT WE, THE DULY ELECTED COUNCIL OF THE CITY OF EAGLE MOUNTAIN, UTAH, HAVE RECEIVED A PETITION SIGNED BY A MAJORITY OF THE OWNERS OF THE TRACT SHOWN HEREON REQUESTING THAT SAID TRACT BE ANNEXED TO THE CITY OF EAGLE MOUNTAIN AND THAT A COPY OF THE ORDINANCE HAS BEEN PREPARED FOR FILING HERewith ALL IN ACCORDANCE WITH THE UTAH CODE ANNOTATED (1993) 10-2-401 TO 10-2-424 AS REVISED AND THAT WE HAVE EXAMINED AND DO HEREBY APPROVE AND ACCEPT THE ANNEXATION OF THE TRACT AS SHOWN AS A PART OF SAID CITY AND THAT SAID TRACT OF LAND IS TO BE KNOWN AS THE RANCHES 2 ANNEXATION.

DATED THIS _____ DAY OF _____, 20____.

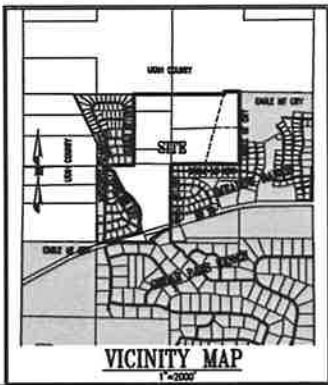
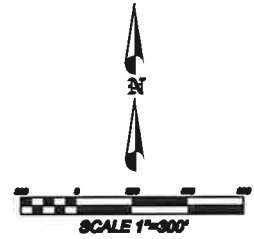
CITY CLERK

CITY CLERK

ANNEXATION PLAT

**MEADOW RANCH ANNEXATION
VALLEY VIEW**

LOCATED IN THE NW 1/4 OF SECTION 18, TSS, R1W, SLB&M
EAGLE MOUNTAIN CITY, UTAH COUNTY, STATE OF UTAH
SCALE: 1" = 300 FEET



**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 5 - ROADWAYS

The accompanying map shows the main roadways proposed in this development as follows:

1. SR 73 - This is the main State Highway serving this site and the remainder of the City. One access is planned for this road and SR73 will likely have to be widened to accommodate turn lanes. Coordination with UDOT will be required and the developers will meet the UDOT requirements for widening for acceleration and deceleration lanes.
2. LOCAL COLLECTOR ROAD - This will be a 2-lane local collector class road with 60' of R/W. It will be constructed in conformance with the City standard 19' of asphalt on each side. In order to keep the more rural atmosphere, curb, gutter, and sidewalks are not required an 8' trail on one side is proposed as shown in Exhibit 5. The collector road connects to SR73 and runs North and East entirely through the project.
3. NEIGHBORHOOD STREETS - All other streets in the development will be neighborhood streets with minimum 50' R/W. No street connection shall constructed which will allow unrestricted access to Country Drive or Lakeview Lane in North Ranch Subdivision, the City shall regulate access to North Ranch Subdivision to permit emergency fire access or other temporary access to North Ranch as determined by the City. The traffic analysis does not show the need for other local collector roads. These neighborhood streets will be constructed in conformance with the City standard 13.5' of asphalt on each side. In order to keep the more rural atmosphere, curb, gutter, and sidewalks are not required an 8' trail on one side is proposed as shown in Exhibit 5. An 8' trail on one side is proposed as shown in Exhibit 5 for most neighborhood streets.

TRAFFIC ANALYSIS

A separate traffic analysis is attached in the Appendix of this report. It was prepared by LSC Transportation Consultants in Denver. It was prepared using an earlier version of the overall plan that had 370 lots, so now that the plan only has 335 lots, the traffic impacts will be proportionately less.



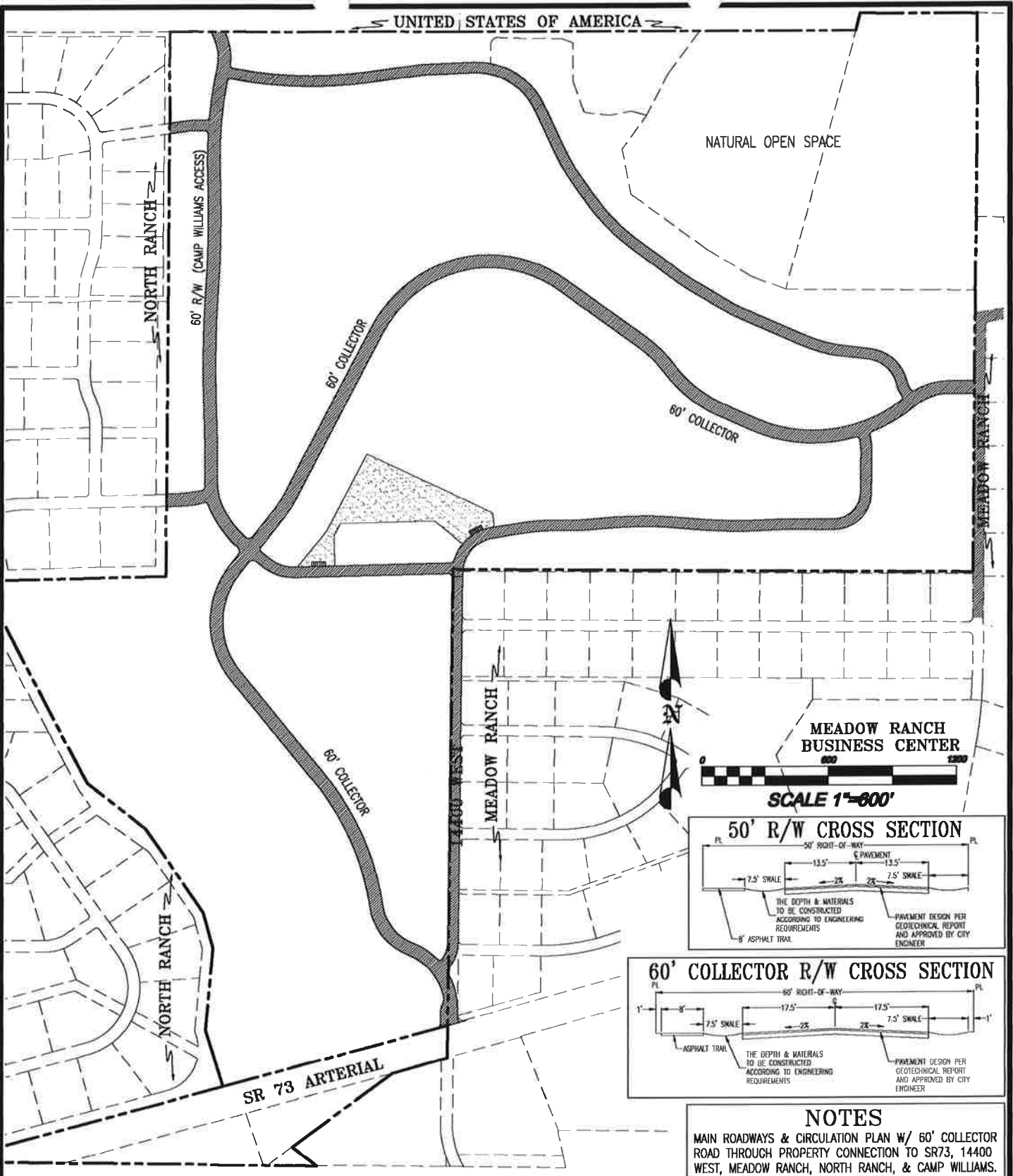
MILITARY VEHICLE ACCESS TO CAMP WILLIAMS

One traffic issue that has been identified is the need for Camp Williams traffic to continue to access through this site on a periodic basis. There is an unimproved existing dirt roadway through the site that military vehicles have occasionally used for access to the south side of the Military Reservation. There is no recorded easement for this use. However, property owners indicate it is desirable and prudent to allow this use to continue. When there is military traffic, some long-bed transport vehicles are used to haul military equipment. Therefore, any access needs to have sufficiently mild slopes, a larger turning radius, and perhaps, some additional design criteria for roadway stability. Accordingly, the designated access route is proposed to be from SR-73 northerly along the collector road and past the E-W connector. Then there will be only one left turn on to a 60' wide access to the Military Reservation border at the northerly end of the project. Turning radiuses along this route will be made larger as described above at all the corners to allow these larger trucks to negotiate the curves. The road grades are mild, and there are only two turns. The very nature of having an improved, paved, wide, all-weather, collector class road for the majority of the access will certainly be far better than the current access and please military officials.

Developers and engineers have met with Army personnel and reached an agreement. An access road, classified as a neighborhood street, but constructed to collector road widths is proposed for military vehicle access. This road runs N-S near the NW portion of the site. It will have 38' of asphalt, and a turning radiuses to accommodate 70' long trailers, and be designed for 72,000 lb loading for 4 axles. Speeds will be posted for 35 mph, turning radiuses will be 68' outside and 48' inside. Access to homes will be allowed directly off this road.

A second issue has been brought up by the City Engineer concerning the new realigned intersection of 14400 West (2000 E City) and the new collector road. He suggests a traffic analysis be completed for that intersection. Accordingly, the developer will comply and have this analysis completed in a timely manner before development approvals.

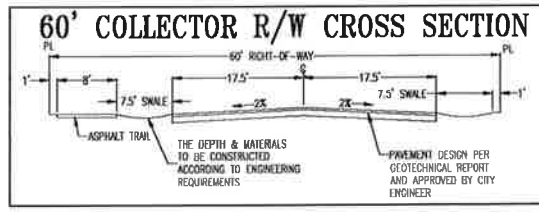
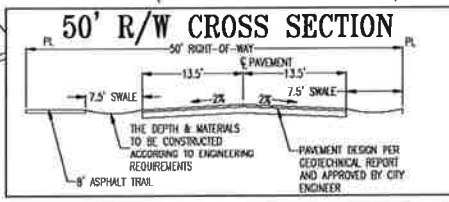




MEADOW RANCH BUSINESS CENTER



SCALE 1"=600'



NOTES

MAIN ROADWAYS & CIRCULATION PLAN W/ 60' COLLECTOR ROAD THROUGH PROPERTY CONNECTION TO SR73, 14400 WEST, MEADOW RANCH, NORTH RANCH, & CAMP WILLIAMS.

VALLEY VIEW RANCH - MAIN PUBLIC ROADWAYS

KHM, LLC.
3688 E. CAMPUS DRIVE
EAGLE MT. UT 84043 789-4700

SCALE:
1"=600'

DESIGN BY: SES
DRAWN BY: AAM

DATE: 13 SEP 2004
REV: 21 SEP 2004

DRAWING NAME:
EXHIBIT_5R

SHEET NO.
5

Handwritten initials/signature

**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS - CITY OF EAGLE MOUNTAIN**

EXHIBIT 6 - CULINARY WATER SYSTEM

The accompanying map shows the main water lines, storage tank, pump station, and other features proposed in this development as follows:

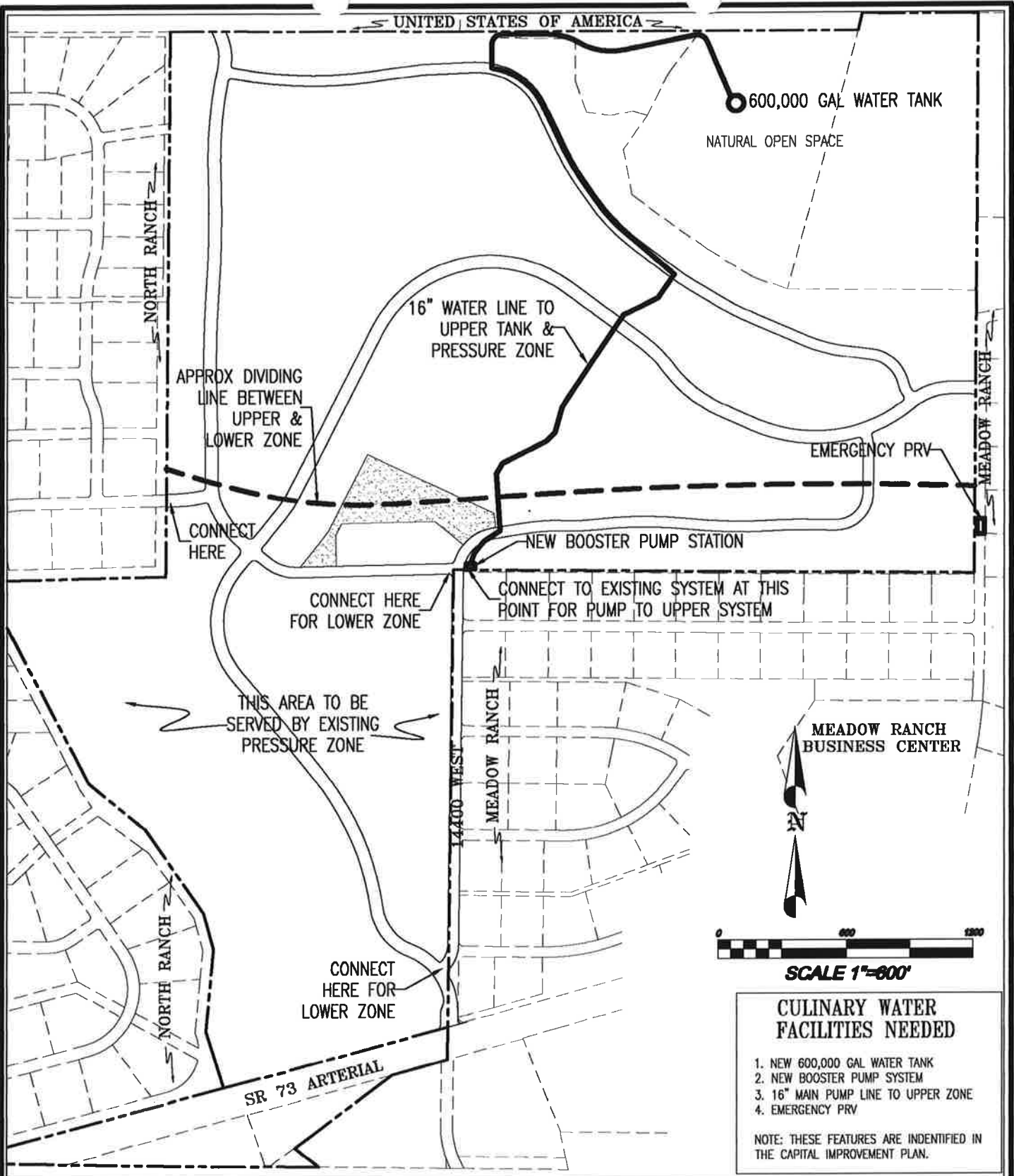
- a. **WATER SUPPLY AND STORAGE** - This service is proposed to be provided by the City, however, new facilities including a water tank, pump station, and pipelines are necessary for a portion of the site. The Capital Facility Plan identifies these features. Average water demands during a summer day are calculated as follows

Culinary Supply = 248 upper zone lots x 400 gpd	= 99,200 gpd
Outside irrigation = 248 lots x 800 gpd (seasonal)	= 198,400 gpd
Parks = 10 acres x 2.5 af/ac x 325,829 gal/af/180 days	= 47,833 gpd
Fire protection reserve	= <u>180,000 gpd</u>
Total	= 525,433 gpd

The city water supply should be able to easily supply this amount (average rate of 300 gpm not including fire flow). A new 600,000 gallon water storage facility is proposed for the upper zone of this site. If the city wants a larger tank as suggested in the capital facility plan, City participation would be welcomed. Even without City participation in the tank, a reimbursement agreement will be sought with the City for impact fee credits and paybacks for capital facilities reimbursements.

- b. **WATER RIGHTS** - The developer is in the process of purchasing water rights for transfer to the City and understands the city requirement for water rights. These requirements are based on the number of homes and the amount of irrigated acres. As of the date of this report, the amount of water rights needed has not been calculated exactly. The exact amount of water right required for the number and nature of approved units is to be negotiated with staff & the attorney after this master development plan is approved.
- c. **WATER PUMP STATION.** A new pump station is needed to pump water to the upper zone. The exact nature, size, and location are under discussion between the City Engineer and the developer's engineer.
- d. **MAIN 16" SUPPLY LINE FROM THE TANK** - This line will be constructed from the pump station to the tank. This water line will provide the main supply to the site and should be able to deliver 1,500 gpm fire flow to each residence. It will be extended northerly through the development to the north property line.
- e. **DISTRIBUTION LINES** - All other lines in this development will be the standard minimum 8" size. They will be constructed in all streets and provide looping throughout all the development sites, and will be connected to the 16" main supply line.

All water lines will be constructed in conformance with Eagle Mountain City standards and specifications. The water system will serve both culinary and irrigation needs since there is only one combined system in the City.



SCALE 1"=600'

- CULINARY WATER FACILITIES NEEDED**
1. NEW 600,000 GAL WATER TANK
 2. NEW BOOSTER PUMP SYSTEM
 3. 16" MAIN PUMP LINE TO UPPER ZONE
 4. EMERGENCY PRV
- NOTE: THESE FEATURES ARE IDENTIFIED IN THE CAPITAL IMPROVEMENT PLAN.

VALLEY VIEW RANCH - CULINARY WATER PLAN

KHM, LLC 3688 E. CAMPUS DRIVE EAGLE MT. UT 84043 789-4700	SCALE: 1"=600'	DESIGN BY: SES DRAWN BY: AAM	DATE: 26 JUL 2004 REV: 13 SEP 2004	DRAWING NAME: EXHIBIT_6R	SHEET NO. 6
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Handwritten signature/initials

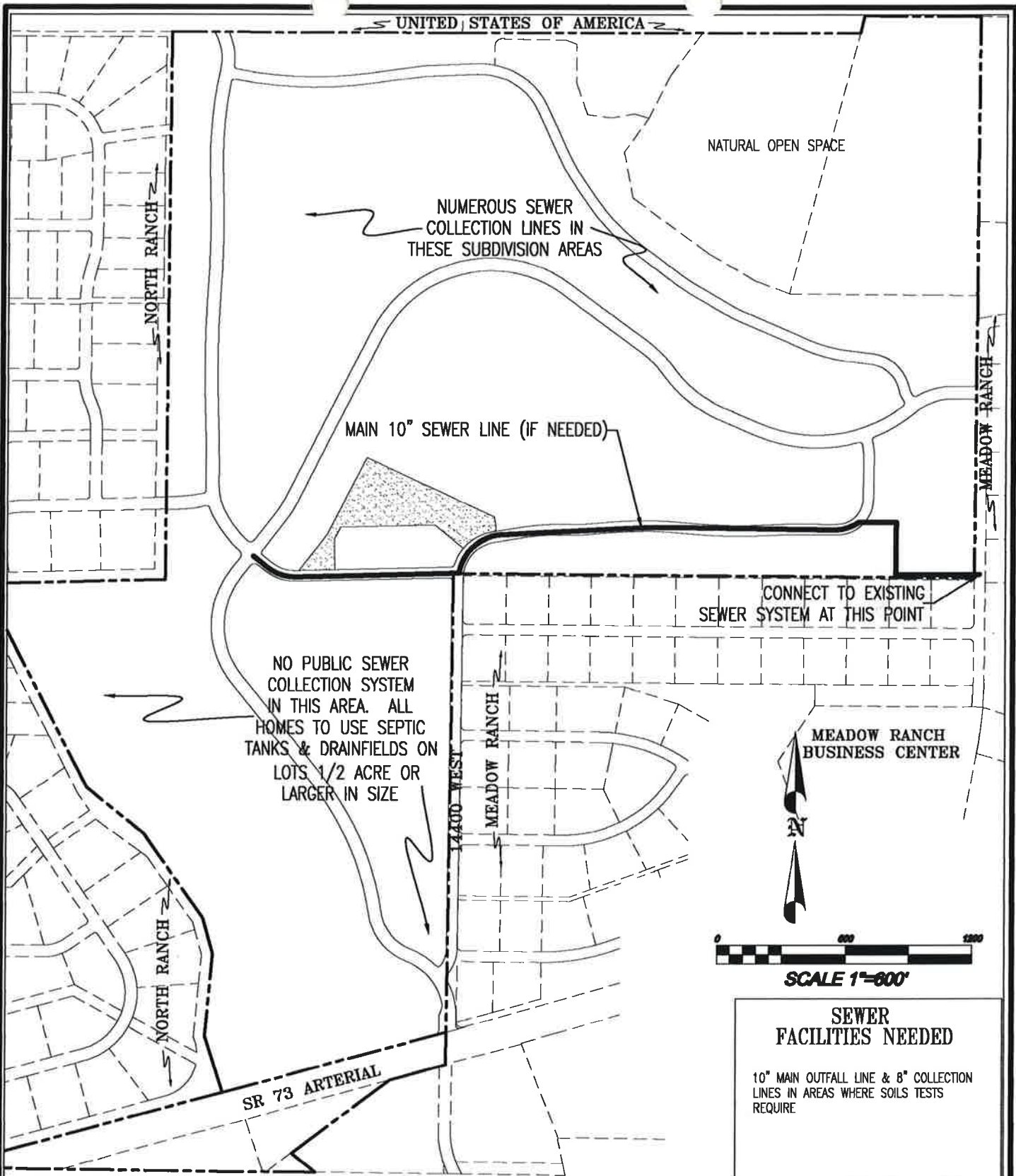
**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 7 - SANITARY SEWER SYSTEM

The accompanying map shows the main sewer lines and facilities proposed in this development as follows:

1. **SEWER TREATMENT** - Sewer treatment services for most lots are proposed to be provided by individual small underground wastewater disposal facilities (septic tanks and drain fields). Any lots not served by drain fields are anticipated to be provided by the Timpanogos Special Service District through a contract with the City. Soils tests will be done to determine the exact location needing sewer service. For now, it is assumed that only the upper portion of the site may need sewer. The developer understands these needed services. The anticipated demand for the main outfall line to the east is calculated as follows: $248 \text{ units} \times 400 \text{ gpd} = 99,200 \text{ gpd}$
2. **MAIN 10" OUTFALL LINE TO THE EAST.** A main 10" sewer line is proposed to be constructed and connected into the existing system in Meadow Ranch (see Exhibit 7). That facility has been sized to handle this development. Peak flow rate = is anticipated to be $99,200 \text{ gpd} \times 4.0 \text{ PF} / 1440 \text{ min/day} = 275 \text{ gpm} = 0.61 \text{ cfs}$. A 10" line at a slope of 0.3 % will easily handle 1.0 cfs. An 8" line at a slope of 0.4% will handle 0.75 cfs. The developer is willing to do this extension as a condition of master development plan approval and will likely seek reimbursement agreements from other property owners, adjacent and cooperating developers who may (in the future) benefit from these lines.
3. **8" COLLECTION LINES** - All other lines in this development will be the standard minimum 8" size. Where required for higher volumes, to extend larger lines thru the site, or to meet minimum grade standards for maintaining velocity in the line, they may be up sized to 10". In any case, they will be constructed in most streets and provide collection lines in front of each residence in the upper portion of the site. All sewer lines will be constructed in conformance with Eagle Mountain City standards and specifications.
4. **INDIVIDUAL SMALL UNDERGROUND WASTEWATER DISPOSAL FACILITIES.** Lots on the south portion of this site are proposed to serve by individual small underground wastewater disposal facilities (septic tanks and drain fields) to be constructed by each of the homeowners with approval of the Utah County Health Department. The developer will complete selected percolation tests at the time of preliminary approval to ensure compatibility, but the main responsibility for obtaining approvals, percolation tests, and soils analysis will rest with the developer of each individual subdivision at final plat approval time and/or homeowner at building permit time. The developer is asking for an exception to the existing 2.5 acre lot size requirement for a drain field based on numerous lots in Meadow and North Ranch having drain fields on 1 acre and based on the fact that there is no culinary well protection zone in the area.

BA
9/27/04



SCALE 1"=600'

SEWER FACILITIES NEEDED

10" MAIN OUTFALL LINE & 8" COLLECTION LINES IN AREAS WHERE SOILS TESTS REQUIRE

VALLEY VIEW RANCH - SEWER CONNECTION SYSTEM

KHM, LLC
3688 E. CAMPUS DRIVE
EAGLE MT. UT 84043 789-4700

SCALE:
1"=600'

DESIGN BY: SES
DRAWN BY: AAM

DATE: 24 JUL 2004
REV: 13 SEP 2004

DRAWING NAME:
EXHIBIT_7R

SHEET NO.
7

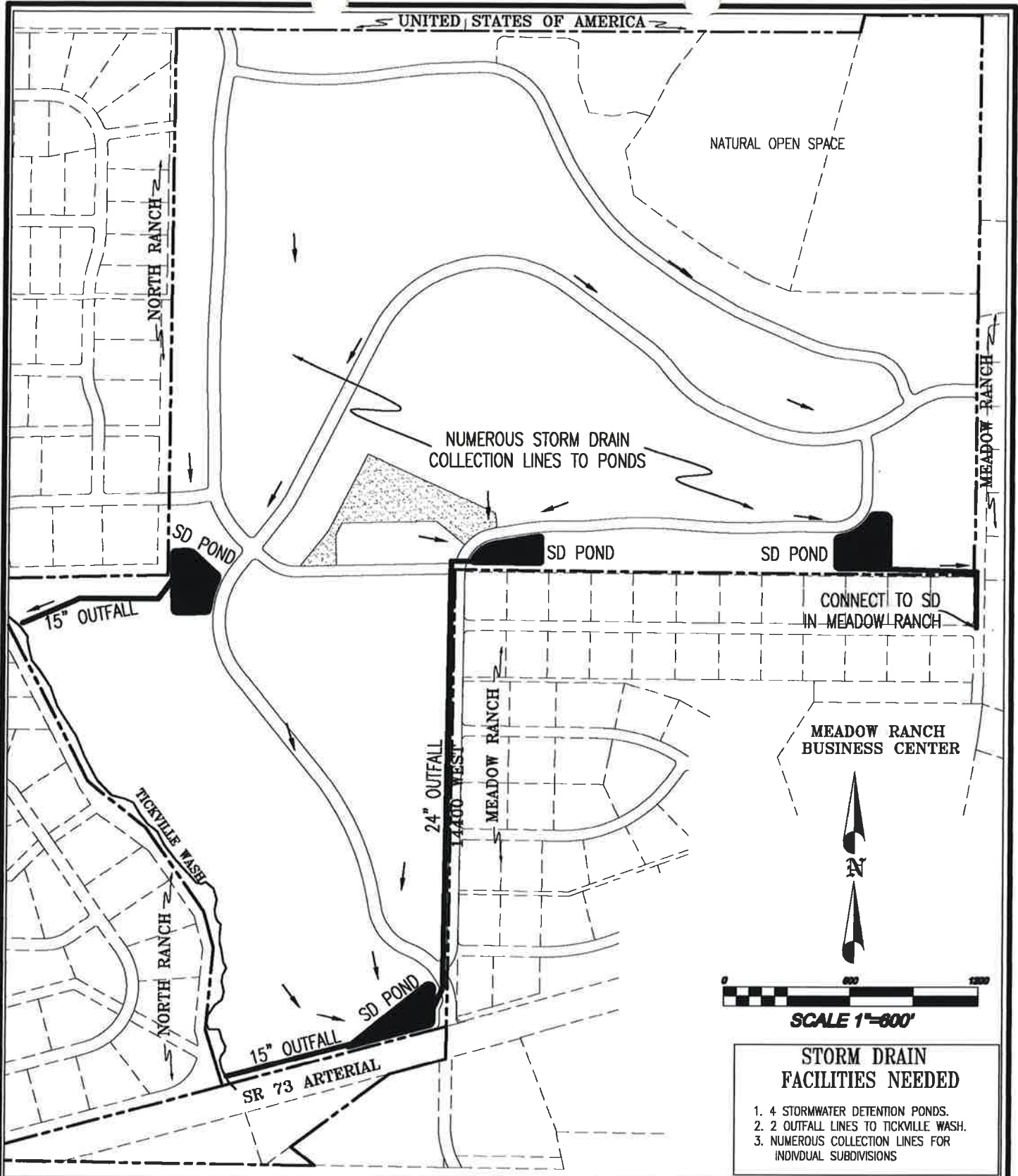
**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 8 - STORM DRAIN SYSTEM

The overall goal of the stormwater management plan for this development is to provide a storm drain collection system to meet City standards. Those standards require design of storm drainage facilities for a 100-year storm event and shall detain and release storm water at a rate equal to (or less than) the 10-year, 24-hour historical flows. The accompanying map shows the main storm drain facilities proposed in this development.

1. **STORM DETENTION PONDS** - At least four storm drainage ponds are proposed to be constructed to handle the stormwater from this site (see Exhibit 8). These ponds will detain a 100 year storm and release storm water at a rate equal to (or less than) the 10-year, 24-hour historical flows (approx. 0.15 cfs/acre). The ponds will be along the southerly side of the development near the locations shown on the attached map. Ponds will have side slopes of 5:1 and meet other City standards for access, fencing, detention, and landscaping. Slight adjustments in the exact locations and sizes of the ponds may be needed pending final development approval and location of roads and drainage swales.
2. **MAIN STORMWATER OUTFALL LINES** - Three of the four storm drain outfall lines will take water from the ponds and dispose of it into Tickville Wash at a controlled (historical) rate. The other pond on the east side will dispose of water a controlled (historical) rate to the SE into a future storm drain system that will be constructed through Meadow Ranch to handle storm water for this project.
3. **STORMWATER COLLECTION LINES** - All other lines in this development will be at least the standard minimum 15" size. Where required for higher volumes or to meet minimum grade standards for maintaining velocity in the line, they will be up sized to 18" or 24". In any case, they will be constructed in selected streets and provide collection lines for each major drainage area leading to the ponds.
4. **TICKVILLE WASH.** Tickville Wash is the main drainage feature for the site. As described above, it was and is the ultimate point of disposal for all storm water after proper settling and detention. No improvements (such as stabilization, dams, trails, etc.) are planned for Tickville, except for erosion protection (such as rip rap) at the two points where stormwater will dump end. All home building pads will be kept a safe distance away from the banks. As requested by the City, a storm drain and public access easement is proposed and shown on the exhibit for the portion of Tickville Wash on this site. Also, as requested by the City, the maximum 100-year flood stage for the Wash will be calculated, and an erosion & morphology study will be completed. These will be displayed on maps during the preliminary plan stage to ensure homes near the wash will be adequately set back and protected.





CONNECT TO SD IN MEADOW RANCH

MEADOW RANCH BUSINESS CENTER

STORM DRAIN FACILITIES NEEDED

- 1. 4 STORMWATER DETENTION PONDS.
- 2. 2 OUTFALL LINES TO TICKVILLE WASH.
- 3. NUMEROUS COLLECTION LINES FOR INDIVIDUAL SUBDIVISIONS

MEADOW VIEW RANCH - STORMWATER SYSTEM

KHM MEADOW RANCH LC
 3688 E. CAMPUS DRIVE
 EAGLE MT. UT 84043 789-4700

SCALE:
1" = 600'

DESIGN BY: SES
 DRAWN BY: AAM

DATE: 26 JUL 2004
 REV: 13 SEP 2004

DRAWING NAME:
 EXHIBIT_8R

SHEET NO.
8

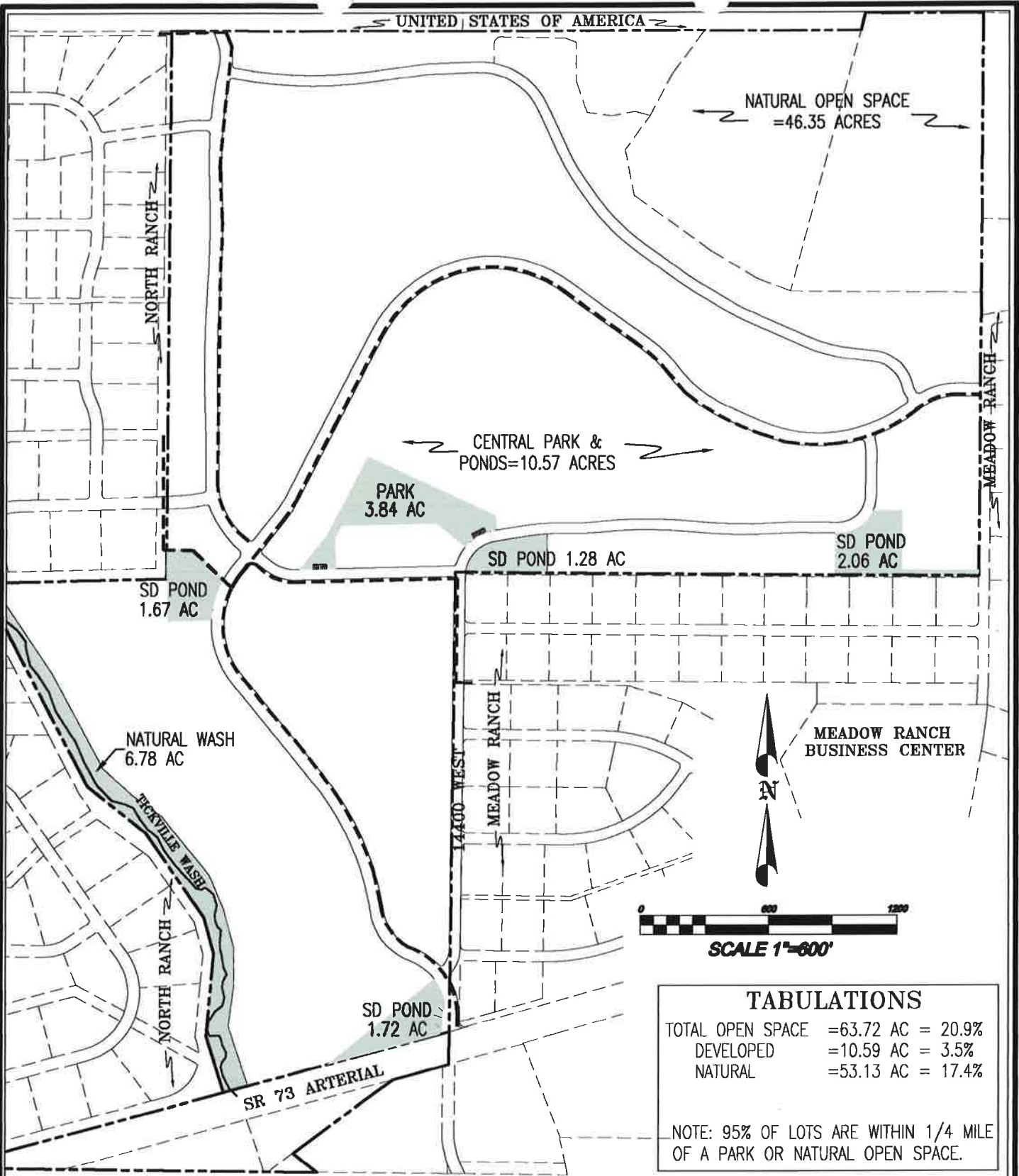
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**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 9 - PARKS AND RECREATION

Usable parks, recreation, and open space facilities are critical to the viability of neighborhoods and communities. The City parks and recreation system is comprised of neighborhood parks, connective trails, and regional parks. In master planned areas, the location of the park should be centralized and located within 1/4 mile of 90% of the residents. A minimum of one acre of park should be provided for every 100 housing units. Therefore, a minimum of 3.35 acres should be provided. In this case, the developer is providing a far greater amount as follows:

- a. **LARGE NEIGHBORHOOD PARK.** This large main park is located almost in the center of this development. A paved trail is proposed to be constructed through this site by the developer(s). Other amenities and the exact extent of park development to be provided by the developer will be negotiated with this master development plan approval. As currently shown, this park will be a total of 3.84 acres, more than the required amount.
- b. **STORM DRAIN POND OPEN SPACE.** In addition to the parks, there is a total of 6.73 acres in the four pond locations. The exact extent of pond landscaping to be provided by the developer will be negotiated with this master development plan approval.
- c. **TICKVILLE WASH OPEN SPACE.** A 6.78 acre corridor has been preserved along the Tickville Wash drainage that will be deeded to the City. This can also be used for a natural trailway or linear park if desired by the City.
- d. **OTHER NATURAL OPEN SPACE.** This development plan includes an abundance (at least 46 acres which includes land owned by the Department of Natural Resources) of natural open space. This space can be used for hiking, biking, sightseeing, and for a viewshed.
- e. **TRAILS.** This project is full of trails. An equestrian trail is also proposed through a portion of the site to connect North Ranch with Meadow Ranch. Additionally, all roadways are proposed to have an 8' trail on one side.
- f. A count of the lots (on a proposed lotting plan) indicates that 95% are within 1/4 mile of a developed park or natural open space.
- g. **Street Trees.** No street trees are proposed for this development since they would be out of character for the site and adjacent subdivisions.



TABULATIONS

TOTAL OPEN SPACE	=63.72 AC	= 20.9%
DEVELOPED	=10.59 AC	= 3.5%
NATURAL	=53.13 AC	= 17.4%

NOTE: 95% OF LOTS ARE WITHIN 1/4 MILE OF A PARK OR NATURAL OPEN SPACE.

VALLEY VIEW RANCH - PARKS & OPEN SPACE

KHM, LLC 3688 E. CAMPUS DRIVE EAGLE MT. UT 84043 789-4700	SCALE:	DESIGN BY: SES	DATE: 13 SEP 2004	DRAWING NAME:	SHEET NO.
	1"=600'	DRAWN BY: AAM	REV: 21 SEP 2004	EXHIBIT_9R	9

Handwritten signature/initials in blue ink.

**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 10 - PHYSICAL CHARACTERISTICS

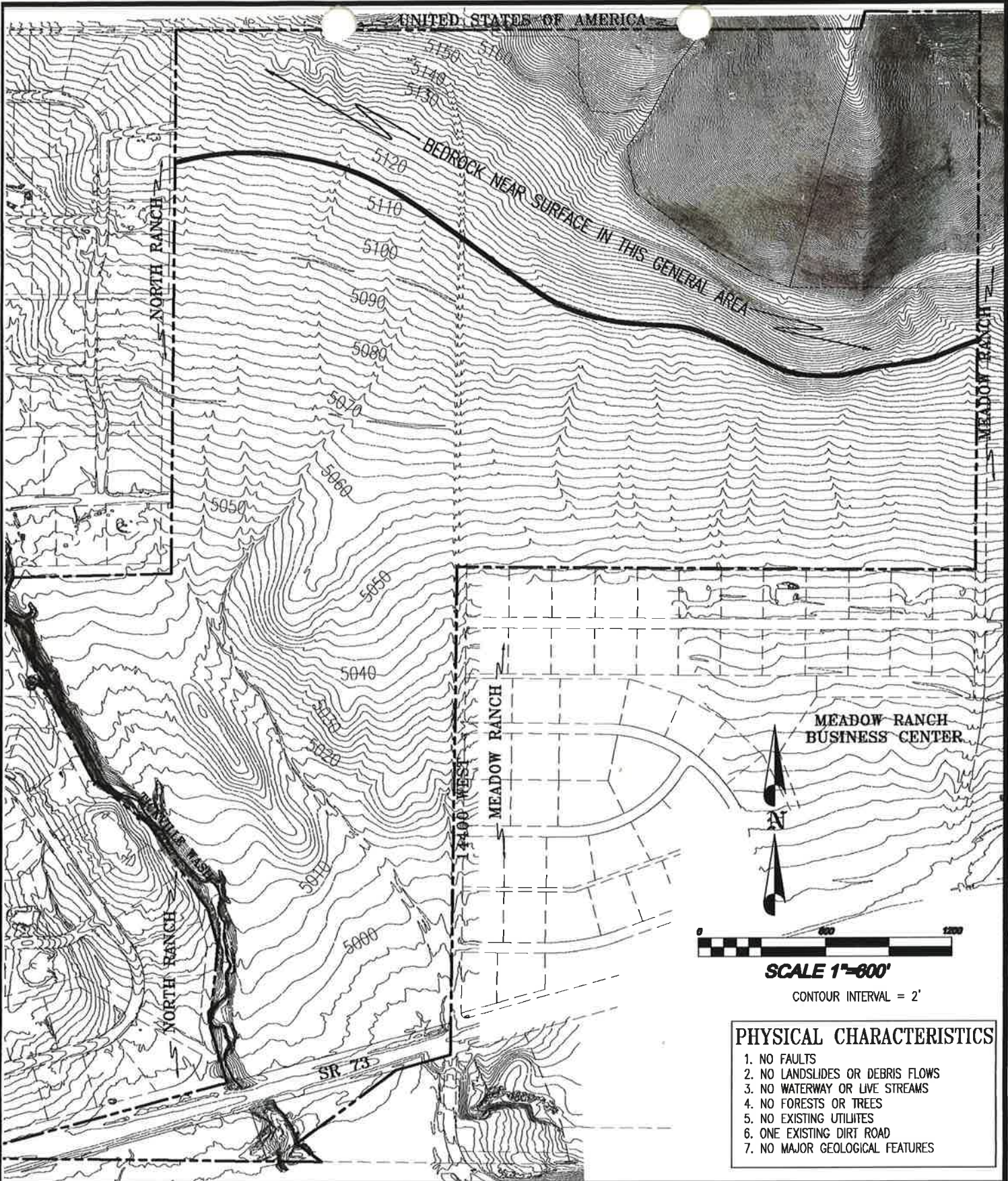
CONTOUR DATA - Attached is a contour map of the site with 2-foot contour intervals as Exhibit 10. Average slope of the portion of the site to be developed is less than 10%. As can be seen, the steeper slopes in the NE portion of the site are not to be developed since they are >25%.

WATERCOURSE - There are no live streams, perennial streams, watercourses, drainage channels, washes, floodways, wetlands, or any other water feature on the site except Tickville Wash, which is a live stream only during storm runoff. All other swales or washes are dry.

GEOLOGICAL INFORMATION - An examination of the Utah County geological and hazard maps of the site showing that there are no faults, geological hazards, rockfall, debris flows, flood plain, high groundwater, liquefaction, or other hazard areas.

SOILS DATA - Although a detailed soils map or geotechnical study has not been prepared for the site, enough data exists for nearby sites to state that there are no problems with soils for standard residential development or construction. Excavations for utilities and basements for residential buildings nearby did not yield any major concerns except for areas of shallow bedrock. Soils in the area are gravelly silty sand. There are areas of bedrock near the surface. All the areas of slopes >10% in the upper NE portion of the site has bedrock exposed on the surface.





MEADOW RANCH BUSINESS CENTER



SCALE 1"=600'

CONTOUR INTERVAL = 2'

PHYSICAL CHARACTERISTICS

1. NO FAULTS
2. NO LANDSLIDES OR DEBRIS FLOWS
3. NO WATERWAY OR LIVE STREAMS
4. NO FORESTS OR TREES
5. NO EXISTING UTILITIES
6. ONE EXISTING DIRT ROAD
7. NO MAJOR GEOLOGICAL FEATURES

VALLEY VIEW RANCH - EXISTING PHYSICAL CHARACTERISTICS

KHM, LLC
 3688 E. CAMPUS DRIVE
 EAGLE MT. UT 84043 789-4700

SCALE:
 1"=600'

DESIGN BY: SES
 DRAWN BY: AAM

DATE: 26 JUL 2004
 REV:

DRAWING NAME:
 EXHIBIT_10

SHEET NO.
 10

(Handwritten initials/signature)

**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 11 - ENVIRONMENTAL ISSUES

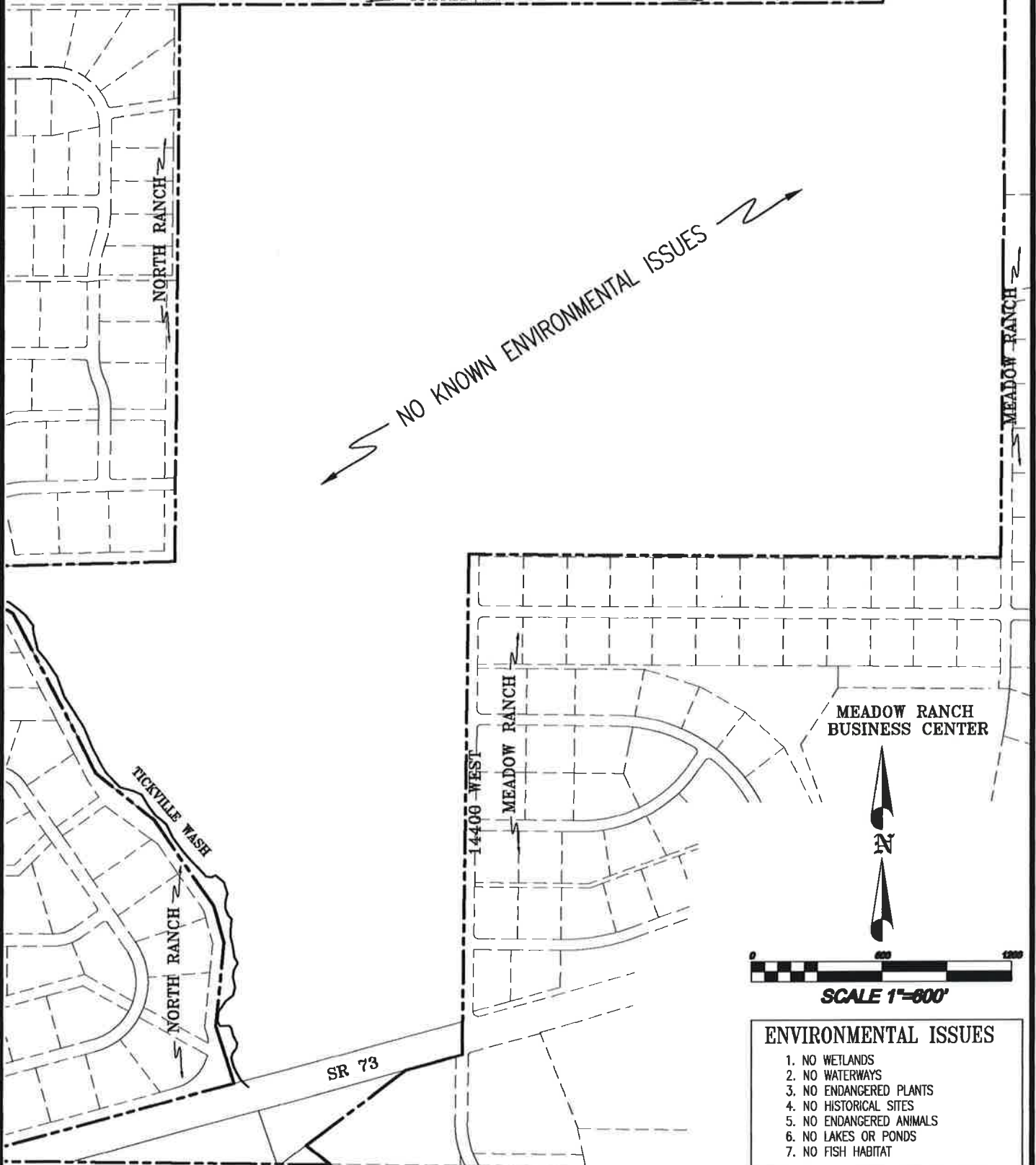
Previous and following sections of this document adequately describe most environmental issues related to this site including wetlands, soils, physical characteristics, geological hazards and features, watercourses, historical sites, flood areas, endangered species, or steep areas. None of these pose a problem to development or a threat to the environment. Only a few remaining environmental issues that need to be considered are listed below. None are of the type that can be shown on the exhibit, hence, the exhibit is blank.

DUST CONTROL - Dust control during construction is an issue that needs to be considered. As with all other construction in the City, regulations require that this be addressed. There is a specific section in the code that, when followed by contractors, dust control can be mitigated.

ADJACENT FARM LANDS - There are no adjacent properties where farming occurs.

VEGETATION AND WILDLIFE - As previously stated, vegetation on this site is sparse consisting of sagebrush and a few remnants of dry land wheat and cedar trees. There are no trees, bushes, or shrubs at all on this somewhat desolate site. There is currently no water other than normal limited desert rainfall to sustain vegetation or wildlife. No endangered species are known to exist on this site. A few jackrabbits, rodents, and insects that normally inhabit desert environments have been observed occasionally and sporadically on this site.

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- ENVIRONMENTAL ISSUES**
1. NO WETLANDS
 2. NO WATERWAYS
 3. NO ENDANGERED PLANTS
 4. NO HISTORICAL SITES
 5. NO ENDANGERED ANIMALS
 6. NO LAKES OR PONDS
 7. NO FISH HABITAT

VALLEY VIEW RANCH - ENVIRONMENTAL ISSUES

KHM, LLC 3688 E. CAMPUS DRIVE EAGLE MT. UT 84043 789-4700	SCALE: 1" = 600'	DESIGN BY: SES DRAWN BY: AAM	DATE: 26 JUL 2004 REV:	DRAWING NAME: EXHIBIT_11	SHEET NO. 11
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Handwritten signature/initials in blue ink.

**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

EXHIBIT 12 - PRELIMINARY FISCAL ANALYSIS

This fiscal analysis mainly displays the cost of constructing, extending, and providing utilities to the various individual development pods of this site. It is divided into five sections as follows:

- A. Capital Facility Plan funded projects
- B. Off-site utilities
- C. Interior subdivision pod utilities
- D. Major on-site utilities
- E. Miscellaneous or development costs

Each of these are discussed on the following pages.

CAPITAL FACILITY PLAN FUNDED PROJECTS

The only capital facilities identified in the Capital Facility Plan are some water system improvements including the water tank, pipeline, pump station, and PRV shown in Exhibit 6. That CFP identifies a cost of \$1,020,000. It is not known at this time how these will be funded, but a likely answer is that they will be designed, constructed, and paid for by the developer in conformance with this MDP and CFP. The developer would then be partially paid back by impact fees collected by the city now identified at \$1,360 per ERU. If the City wants a larger tank, or if the ERU's change, City participation or cost per ERU can be negotiated. Additionally, the developer will seek a reimbursement agreement and impact fee credits for these type of costs.

OFF-SITE IMPROVEMENTS

The only off-site improvement identified at this time is the widening of SR73 with a turn lane. Estimated cost at this time is \$100,000.00. This improvement is proposed to be funded by the master developer at the time of construction and not be part of a City CFP. The master developer will likely seek cooperation and a reimbursement agreement from other adjacent developers who may benefit from these improvements. There is also an off-site storm water line that will be constructed through the existing Meadow Ranch Subdivision.

INTERIOR SUBDIVISION UTILITIES

For this master development plan, some of the individual subdivision pods will likely be sold to individual home builders or developers. The intent is that they will be responsible for construction of utilities, infrastructure, and roadways within each of the pods. Costs could range from \$10,000 to \$30,000 per unit for all infrastructure.



MAJOR ON-SITE UTILITY COST FOR MDP AREA

These major on-site utilities are those that are required to be installed by the master developer to 1) provide service to each individual subdivision pod, 2) extend service completely through the development to the far reaches, or 3) provide the minimal facilities to meet commitments required as a part of this master development plan approval and the City development code. Cost estimates for each of them are summarized below. Other facility expansion or extensions will likely be paid by impact fees.

MAJOR ON-SITE UTILITY COSTS (To be paid by developer)

1)	Wastewater System (10" line)	= \$100,000
2)	Electrical System	= \$ none
3)	Natural Gas System	= \$ none
4)	Storm Water (4 ponds & pipes)	= \$200,000
5)	Communications (Phone)	= \$ none
6)	Street system (collector road)	= \$900,000
7)	Developed Parks	= \$100,000
8)	Public Safety Facilities	= <u>\$ none</u>
	Total	= \$ 1,300,000

These major on-site utilities are proposed to be funded by the master developer. Other improvements (including additional park improvements) will be negotiated after the approval of this master development plan. The developer(s) in turn, may pass the appropriate share of these costs to the individual subdivision pods or (at the appropriate time) ask City impact fees to be considered for partial reimbursement.

MISCELLANEOUS OR HIDDEN DEVELOPMENT COSTS

Although the costs listed below are not miscellaneous in terms of their total amount or actual cost, these are real cost to the developer, builder, or property owner. They are often included or hidden in other costs or fees, but should be disclosed here in this fiscal analysis. They may be paid by the master developer, individual developers, builders, or homeowners depending on how fees are structured. But, nevertheless, they are true costs to the ultimate end user.

1)	Water Rights purchase approx. =	= \$860,000
2)	Construction surveying and staking, geotechnical and traffic study, construction mgt. approx. = \$300/unit x 340	= \$102,000
3)	City review fees	
a)	Master Development Plan	= \$ 6,000
b)	Concept plans	= \$ 3,000
c)	Preliminary plans	= \$23,000
d)	Final plats	= \$34,000
e)	Inspection fees approx	= \$66,000
		= \$132,000
4)	Construction bonding approximately 2% of construction cost	= \$ 88,000
5)	Title reports, title insurance, legal fees, real estate fees	= <u>\$118,000</u>
	SUB TOTAL MISC COSTS	= \$1,300,000

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**VALLEY VIEW RANCH
MASTER DEVELOPMENT PLAN
SUPPORTING MATERIALS
CITY OF EAGLE MOUNTAIN
SEPT 2004**

**EXHIBIT 13A - ELECTRICAL POWER,
NATURAL GAS, and
COMMUNICATIONS**

TASCO Engineering, Inc. has prepared an analysis for the infrastructure to provide electrical, telephone, and natural gas services to the proposed annexation area. Their report has been delivered to the city and is not reproduced here. The developer is willing to provide those suggested improvements this as a condition of master development plan approval and will seek appropriate reimbursement agreements from other property owners, City impact fees, or adjacent and cooperating developers who benefit from these lines.

EXHIBIT 13B- SOLID WASTE

The city residents are presently serviced by a contract solid waste disposal service. Individual homes or units in this development will have their own individual solid waste receptacles. Service is provided and homes are added by the normal city building permit process and service fees. Therefore, solid waste collection services can be supplied to this site.

EXHIBIT 13C - FIRE PROTECTION

The City is presently serviced by its own City fire department. This is part of the service the City provides its residents as a normal part of the building permit and property tax process. The existing fire station will serve an area with an approximate 4-mile radius. The existing fire station is located on Pony Express Parkway within 2.5 miles of the furthest point on this site with access via a local collector road and a major State Highway, with two stop signs. Response time is anticipated to be less than 4 minutes. The water system will be designed to deliver a minimum of 1,500 gpm to each residence and extend to this site (see Exhibit 6). Therefore, fire protection services can be supplied to this site with the normal city services and fees. The developer respectfully asks the fire chief to approve this plan.

